



Thank you for selecting CPI for your property inspection.

We are required by the State of Arizona to observe and report on certain items when performing a home inspection, you may view these standards by visiting our web site and selecting the property inspections tab.

The following report is a very comprehensive written evaluation of the observed conditions pertaining to the property inspection just completed.

Our goal is to document and report to you as much of the observation as possible. This report may include minor (superficial) general maintenance items to serious (structural) maintenance concerns.

The report is presented as a check off matrix report as well as detailed written comments where applicable.

**Please Note:** Due to limited space in the comments section of the report, you may view all of the comments in the Report Summary section. Please review the Report Summary for the full text of the comments.

This report is intended to help you better understand the true condition of the property.

Please take a few minutes to review the entire report in its entirety before making a request for repair to the seller.

Feel free to give your inspector or our office a call if you have any questions.

Inspector : **Ruth Lindley**

Phone : **623-555-5555**

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**REPORT SUMMARY**

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## COMPREHENSIVE PROPERTY INSPECTIONS

4001 E. MOUNTAIN SKY AVE, SUITE 107

PHOENIX, AZ 85044

(480) 245-6462 FAX (480)706-9533

**THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT... PLEASE READ CAREFULLY.**

**Client:** Mr. John Smith

**Address:** Old House Drive

**City/State/Zip:** Phoenix, AZ 85000

**Report #:** HE0919RL

**Subject Property**

New House Drive

Phoenix, AZ 85392

I/We (Client) hereby request a limited visual inspection of the structure at the above address to be conducted by COMPREHENSIVE PROPERTY INSPECTIONS, (Inspector), for my/our sole use and benefit. I/We warrant that I/We will read the following agreement carefully. I/We understand that I/We are bound by all the terms of this contract. I further warrant that I will read the entire inspection report when I receive it and promptly call the inspector with any questions I may have.

### SCOPE OF INSPECTION

The scope of the inspection and report is a limited visual inspection of the general systems and components of the home to identify any system or component listed in the report which may be in need of immediate major repair at the time of the inspection. **The inspection will be performed in accordance with the Standards of Professional Practice adopted by the Arizona State Board of Technical Registration, a copy of which is available upon request.**

### OUTSIDE SCOPE OF INSPECTION

Any area which is not exposed to view, is concealed, or is inaccessible because of soil, walls, floors, carpets, ceilings, furnishings, or any other thing is not included in this inspection. The inspection and report are for conditions observed at the time of the inspection, any defects or failures to general systems and components after the inspection are outside the scope of this inspection. The inspection does not include any destructive testing or dismantling. Client agrees to assume all the risk for all conditions which are concealed from view at the time of the inspection. This is not a home warranty, guarantee, insurance policy or substitute for real estate transfer disclosures which may be required by law.

Whether or not they are concealed, the following **ARE OUTSIDE THE SCOPE OF THIS INSPECTION**

- Our inspection may not include cosmetic items or finish blemishes.
- Specific components noted as being excluded on the individual systems inspection forms
- Private water or private sewage systems, condition of underground or non visible drain lines
- Saunas, steam baths, or fixtures and equipment
- Pool or spas equipment** and bodies, underground piping
- Radio-controlled devices, remote pool lighting, automatic gates, elevators, lifts, dumbwaiters and thermostatic or time clock controls
- Water softener / purifier systems or solar heating systems, **irrigation/sprinkler system**
- Furnace heat exchangers, evaporative coolers, freestanding appliances, security alarms, intercom systems or personal property
- Adequacy or efficiency of any system or component
- Prediction of life expectancy of any item
- Building code or zoning ordinance violations, **building permit filing status**
- Building value appraisal or cost estimates
- Building fire extinguishing systems
- Geological stability or soils condition
- Structural stability or engineering analysis, slab and foundation issues that are not visible
- Termites, pests or other wood destroying organisms
- Mold, asbestos, radon, lead, Chinese drywall**, formaldehyde, water or air quality, electromagnetic radiation or any environmental hazards
- Conditions behind or inside of walls or ceilings, infrared inspections
- Condition of roofing paper under roof tiles, shingles or other weather element protective material
- Condition of garage storage cabinets, **detached buildings or structures**

(Some of the above items may be included in this inspection as a courtesy. **BOLD** items may be reported for an additional fee – if samples have been gathered for testing, results apply to the location of samples taken only, entire home was not tested).

Your inspector is a home inspection generalist and is not acting as a licensed engineer or expert in any craft or trade.

# COMPREHENSIVE PROPERTY INSPECTIONS

Contract continued

**Client:** Mr. John Smith

**Report #:** HE0919RL

**THIS IS INTENDED TO BE A LEGALLY BINDING CONTRACT... PLEASE READ CAREFULLY.**

**ARBITRATION:** Any dispute, controversy, interpretation or claim including claims for , but not limited to, breach of contract, any form of negligence, fraud or misrepresentation or any other theory of liability arising out of, from or related to, this contract or arising out of, from or related to the inspection or inspection report shall be submitted to final and binding arbitration "**under the rules and procedures of the Expedited Arbitration of Home Inspection Disputes of Construction Arbitration Services, Inc.**" The decision of the Arbitrator appointed thereunder shall be final and binding and judgment on the Award may be entered in any Court of competent jurisdiction.

**USE BY OTHERS:** Client promises Inspector that Client has requested this inspection for Client's own use only and will not disclose any part of the inspection report to any other person with these exceptions **ONLY:** one copy may be provided to the current seller(s) of the property for their use as part of this transaction only, and one copy may be provided to the real estate agent representing Client and/or a bank or other lender for use in Client's transaction only.

**ATTORNEY'S FEES:** The prevailing party in any dispute arising out of this agreement, the inspection, or report(s) shall be awarded all attorney's fees, arbitrator fees and other related costs.

**SEVERABILITY:** Client and Inspector agree that should a Court of Competent Jurisdiction determine and declare that any portion of this contract is void, void able or unenforceable, the remaining provisions and portions shall remain in full force and effect.

**DISPUTES:** Client understands and agrees that any claim for failure to accurately report the visually discernible conditions at the Subject Property, as limited herein above, shall be made in writing and reported to the Inspector within ten business days of discovery. Client further agrees that, with the exception of emergency conditions, Client or Client's agents, employees or independent contractors, will make no alterations, modifications or repairs to the claimed discrepancy prior to a re-inspection by the Inspector. Client understands and agrees that any failure to notify the Inspector as stated above shall constitute a waiver of any and all claims for said failure to accurately report the condition in question.

## LIQUIDATED DAMAGES

It is understood and agreed by and between the parties hereto that the INSPECTOR/INSPECTION COMPANY is not an insurer, that the payment for the subject inspection is based solely on the value of the service provided by the INSPECTOR/INSPECTION Company in the performance of the limited visual inspection and production of a written inspection report as described herein, that it is impracticable and extremely difficult to fix the actual damages, if any, which may result from a failure to perform such services and in case of failure to perform such services, and a resulting loss the INSPECTOR/INSPECTION COMPANY'S liability here under shall be limited and fixed in an amount equal to the inspection fee paid multiplied by two (2), or to the sum of five hundred dollars (\$500.00), whichever sum shall be less, as liquidated damages, and not as a penalty, and this liability shall be exclusive. No legal action or proceeding of any kind, including those sounding in tort or contract, can be commenced against the Inspector/Inspection Company, or its officers, agents or employees more than one year after the date of the subject inspection. Time is expressly of the essence herein. The written report to be prepared by Inspector shall be considered the final and exclusive findings of the Inspector regarding the inspection of the property. Client shall not rely on any oral statements made by the Inspector prior to issuance of the written report. This agreement shall be binding upon and inure to the benefit of the parties hereto, their heirs, successors, assigns, agents, and representatives of any kind whatsoever. This agreement constitutes the entire integrated agreement between the parties hereto pertaining to the subject matter hereof, and may be modified only by a written agreement signed by all of the parties hereto. No oral agreements, understandings, or representations shall change, modify, or amend any part of this agreement.

**INSPECTOR :** Ruth Lindley  
**Inspector Phone:** 623-555-5555  
**Schedule Date:** September 19, 2016

**INVOICE TOTAL:** \$275.00  
**PAYMENT:** \$275.00  
**TOTAL DUE:** \$0.00



# COMPREHENSIVE PROPERTY INSPECTIONS

4001 E. MOUNTAIN SKY AVE, SUITE 107

PHOENIX, AZ 85044

(480) 245-6462 FAX (480)706-9533

Mr. John Smith  
Old House Drive  
Phoenix, AZ 85000

## Invoice

**Invoice Date:**

**Inspection Date:** Sep 19, 2016

**Invoice #:**

**Report #:** HE0919RL

**Inspector :** Ruth Lindley

**Subject Property:**

New House Drive  
Phoenix, AZ 85392

**PAID**

**THANK YOU**

### INSPECTION FEES

DESCRIPTION	AMOUNT
<b>Title Company Information</b>	
Payment Processing Fee:	_____
Inspection Fee:	\$275.00
Reinspection Fee:	
Pool/Spa:	
Age Fee:	
*Other Services:	
<b>SUB TOTAL :</b>	<b>\$275.00</b>
<b>DISCOUNT :</b>	
<b>INVOICE TOTAL:</b>	<b>\$275.00</b>
<b>PAYMENT:</b>	<b>\$275.00</b>
<b>TOTAL DUE :</b>	<b>\$0.00</b>

\*You may view your Order Confirmation email for a list of Other Services performed

**Please Remit to:**

COMPREHENSIVE PROPERTY INSPECTIONS

PO BOX 93682

PHOENIX, AZ 85070

(480)245-6462 FAX (480)706-9533



## COMPREHENSIVE PROPERTY INSPECTIONS

4001 E. MOUNTAIN SKY AVE, SUITE 107

PHOENIX, AZ 85044

(480) 245-6462 FAX (480)706-9533



**Report ID#**

**HE0919RL**

**Schedule Date**

**Monday, September 19, 2016**

**Mr. John Smith**

**Old House Drive**

**Phoenix, AZ 85000**

**Subject Property**

**New House Drive**

**Phoenix, AZ 85392**

KEY TO THE INSPECTION REPORT

REPORT #: HE0919RL

This Report lists the systems and components inspected by this company. Items not found in this report are considered beyond the scope of this inspection, and should not be considered inspected at this time.

"A/S - APPEAR SERVICEABLE" means that we did not observe conditions that would lead us to believe problems existed with this system or component. The item is capable of being used. Some serviceable items may, however, show wear and tear. Other conditions if applicable, will be noted in the body of the report.

"R/I - RE-INSPECTION ITEM" Items that have been selected for re-inspection. This feature is used by the home inspector to help with the generation of the re-inspection report.

Significantly deficient systems or components will be identified as: Not functional / unsafe / worn / near end of life span. When in the inspector's opinion, an item is "significantly deficient", the reason will be within the body of the report.

Please read the entire report for all items .

Notice: This report contains technical information that may not be readily understandable to the lay person. Therefore, a verbal consultation with the inspector is a mandatory part of this inspection report. If you choose not to consult with the inspector, this inspection company cannot be held liable for your understanding or misunderstanding of this report's contents. If you were not present during this inspection please call the office to arrange for your verbal consultation.

KEY TO THE INSPECTION REPORT

\* Items that have an asterisk next to them. This item or component warrants additional attention, repair or monitoring.

(1) Items that have a (1) next to them. The Bracketed Numbers are defined as follows:

- (1) Recommended evaluation by a qualified licensed structural engineer.
(2) Recommend further evaluation and repairs as needed by a qualified licensed contractor or specialty tradesman dealing with that item or system.
(3) Recommend further review for the presence of any wood destroying pests or organisms by qualified Pest Inspector.
(4) This item is a safety hazard - correction is needed
(5) Recommend upgrading for safety enhancement.

If you do not understand how to read this report please contact our office.

Present During The Inspection: [X] Client [X] Buyer's Agent [ ] Seller's Agent [ ] Seller [ ] No one

INSPECTOR : Ruth Lindley

Phone 623-555-5555

Inspection Date: Sep/19/2016, Monday

Start Time: 2:00 pm

Completion Time: 4:00 pm

The weather condition at the time of inspection was Dry

Approximate temperature during inspection 100.0

Property Information:

The subject property inspected was a (an): Single Family. # of units 1 Approximate year built: 2002

- Gas was on for inspection: YES [ ] Recommend reinspection when gas is available
Water was on for inspection: YES [ ] Recommend reinspection when water is available
Electric was on for inspection: YES [ ] Recommend reinspection when electric is available

NOTICE: It is always wise to check with the building department for permit information, especially if additions or alterations are noted.

IMPORTANT NOTICE TO THIRD PARTIES OR OTHER PURCHASERS: RECEIPT OF THIS REPORT BY ANY PURCHASERS OF THIS PROPERTY OTHER THAN THE PARTY(IES) IDENTIFIED ON THE CONTRACT PAGE #1 IS NOT AUTHORIZED BY THE INSPECTOR. THE INSPECTOR STRONGLY ADVISES AGAINST ANY RELIANCE ON THIS REPORT. WE RECOMMEND THAT YOU RETAIN A QUALIFIED PROFESSIONAL INSPECTOR TO PROVIDE YOU WITH YOUR OWN INSPECTION AND REPORT ON THIS PROPERTY.



**KEY:** (1) Recommend evaluation by a structural engineer  
 (2) Recommended evaluation and repairs by a licensed contractor  
 (3) Refer to qualified termite report for further information  
 (4) This item is a safety hazard - correction is needed  
 (5) Upgrades are recommended for safety enhancement  
 \* This item warrants attention/repair or monitoring

**8 Exterior Stairs**  N/A  R/I **Location:** A ----- B ----- C -----  
 Type: -----  
 Appears serviceable  Defects\*  Railings -----  
 Recommend further evaluation\*  Openings in rails too large (5)

**9 Exterior Walls**  N/A  R/I **Structure Type:** WOOD FRAME  
**Wall Cladding:** Stucco  
 Appears serviceable  Defects\*  Common cracks\*  Major cracks (2)  Cracks / openings need repair\*  
 Recommend further evaluation\*

[See Photo Summary Page](#) See Report Summary for more information

Notice: Wall insulation type and value is not verified\* UFFI insulation or hazard are not identified\* Conditions inside the wall cannot be judged\* Lead paint testing is not performed\*

**10 Trim / Fascia**  N/A  R/I **Type:**  WOOD  META  VINYL  -----  
 Eaves, soffits, fascia & trim appears serviceable  Not fully visible\*  Moisture stains at -----  
 Recommend further evaluation\*  Drip edge not installed\*

[See Photo Summary Page](#) See Report Summary for more information

**11 Chimney(s)**  N/A  R/I **Location:** A ----- B ----- C ----- D -----  
**Material:** A ----- B ----- C ----- D -----  METAL FLUE  CHIMNEY PIPE  
 Appears serviceable  Defects\*  Spark screen is -----  Raincap is -----  
 Recommend further evaluation\*  Recommend adding Chimney Cricket\* -----

Notice: The interior of the flue was not inspected at this time. We recommend that you retain a qualified chimney sweep to clean and evaluate the flue \*

**12 Sprinklers**  N/A  R/I  Non operational\* **Control Box Location;** East Side  
 Appears serviceable  Defects\*  See Sprinkler page for the Full Sprinkler Inspection  
 Recommend further evaluation\*

[See Photo Summary Page](#) See Report Summary for more information

Notice: Underground pipes cannot be judged for breaks or possible root intrusions. Association-maintained systems are not tested. Grove systems are not tested.\*

**13 Hose Faucets**  N/A  R/I  Faucets are -----  
 Appear serviceable  Recommend further evaluation\*

See Report Summary for more information

**14 Gutters & Downspouts**  N/A  R/I  Full  Partial  None Installed  
 Appears serviceable  Defects\*  Recommend adding gutters\*  Route downspouts away from building\*  
 Recommend further evaluation\*

See Report Summary for more information

Notice: Gutters and subsurface drains are not water tested for leakage or blockage.\* Regular maintenance of drainage systems is required to avoid water problems at the roof and foundation.\*

**KEY:** (1) Recommend evaluation by a structural engineer (4) This item is a safety hazard - correction is needed  
 (2) Recommended evaluation and repairs by a licensed contractor (5) Upgrades are recommended for safety enhancement  
 (3) Refer to qualified termite report for further information \* This item warrants attention/repair or monitoring

**15 Grading**  N/A  R/I  **Level Site**  Slope Minor  Moderate  Steep (1)

- Drainage of site/slope of soil at foundation appears serviceable  Not fully visible\*
- Improper soil slope toward foundation\*  Soil / pavement is high at foundation\*  Overgrown landscaping\*
- Plants touch exterior walls and roof\*  Trees planted close to structure \*  Signs of poor drainage / erosion\*
- Recommend further evaluation\*

Notice: This inspection does not include geological conditions or site stability information. For information concerning these conditions, a geologist or soils engineer should be consulted.

**16 Slab-on-grade**  **17 Crawlspace**  **18 Basement**  N/A  R/I

**Foundation type:**  Poured Concrete  Masonry Block  Brick  Stone  Piers  Wood  
 Visible  Partially visible\*  Not visible at\* -----  Recommend further evaluation\*

**Crawlspace:**  Concrete  Steel  Wood  Masonry Block  Brick  Not Visible\*

Entered crawl space  No access\*  Partial access\*  Viewed from access opening only\*  
 Door  Cover :  OK  Damaged\*  Missing\*  Crawlspace  Basement -----

**Condition:**

- Appears serviceable  Defects\*
- No cracks found  Cracks appear common in size and type\*
- Slab not visible due to Carpet and floor covering recommend further evaluation by removal of floor covering.

Notice: All slabs experience some degree of cracking due to shrinkage in the drying process. In most instances floor coverings prevent recognition of cracks or settlement in all but the most severe cases. The inspector will, at additional cost, reinspect, provided the client removes floor covering and releases the inspector from damage caused by this process. Floor coverings are not removed during this inspection.\*

**Floor Construction first level:**  Concrete  Post Tension  Joists  Trusses  Appears Serviceable  
**Floor Construction second level:**  Conventional wood framing  Joists  Trusses  Appears Serviceable

**Floor Framing Size:**

Appears serviceable  Defects\*

**Crawlspace :**  N/A  Joists  Beams  Post  Columns  Debris under house\*

**Crawlspace ventilation:**  N/A  Serviceable  Vents  are blocked  are inadequate  are needed

**Insulation:**  Fiberglass  Material is  Woo  Woo  Cellulose  Vermiculit  Foa  None

**VAPOR RETARDER**  N/A  Installed  Not installed\*  Not visible\*  Loose\*  Installed incorrectly\*

**Sump pump**  N/A  Serviceable  Not functional\*  Pump not tested\*  Sump pump needed\*

Recommend further evaluation\*

**BASEMENT STAIRS**  N/A  R/I  Appears serviceable

**Railings** -----  Stairs too steep (2)(4)(5)  Ceiling is -----  
 Recommend further evaluation\*  Uneven rise(2)(4)  Uneven run(2)(4)  loose step(s) (2)(4)

Notice: The inspector does not determine the effectiveness of any system installed to control or remove suspected hazardous substances\* No engineering is performed during this inspection \*

**COMPREHENSIVE PROPERTY INSPECTIONS**

**Page 7**

**ROOF**

**REPORT # : HE0919RL**

**KEY:** (1) Recommend evaluation by a structural engineer  
 (2) Recommended evaluation and repairs by a licensed contractor  
 (3) Refer to qualified termite report for further information  
 (4) This item is a safety hazard - correction is needed  
 (5) Upgrades are recommended for safety enhancement  
 \* This item warrants attention/repair or monitoring

**Roof Style:** **Main Roof** **Hip** | ----- | ----- | ----- | -----  
**Access**  Walked  Viewed from ladder\*  Viewed from ground\*  With binoculars\*  Inspection is limited\*  
**Method:**  Not fully visible due to:  Height  Weather  Snow  Type  Debris  -----

**19 Main Roof**  N/A  R/I **Roof Covering is:** **Concrete Tile** **# of layers:** 1  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 General condition favorable with signs of weathering and aging-regular maintenance and inspection advised.\*  
 Roof material appears improperly installed (2)  Holes/opening  Exposed  Deteriorated membrane  
 **Recommend further evaluation\***

[See Photo Summary Page](#)

[See Report Summary for more information](#)

**20** -----  N/A  R/I **Roof Covering is:** ----- **# of layers:** --  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 General condition favorable with signs of weathering and aging-regular maintenance and inspection advised.\*  
 Roof material appears improperly installed (2)  Holes/openings(2)  Exposed(2)  Deteriorated membrane(2)  
 Recommend further evaluation\*

Notice: Roofs of this material are often not walked on to avoid causing damage. Not all tiles/slates are checked for attachment.\* Inspection is limited\*

**21** -----  N/A  R/I **Roof Covering is:** ----- **# of layers:** --  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 General condition favorable with signs of weathering and aging-regular maintenance and inspection advised.\*  
 Roof material appears improperly installed (2)  Holes/openings (2)  Exposed (2)  Deteriorated membrane (2)  
 Recommend further evaluation\*

**Roof Notes** **Entry Column(s) Type:** None **Condition:** -----  
 No leaks observed  Roof penetrations serviceable  Non Functional\*  Worn\*  Near end of lifespan\*(2)

[See Report Summary for more information](#)

Notice: The report is an opinion of the general quality and condition of the roof.\* The Inspector cannot, and does not, offer an opinion or warranty and to whether the roof has leaked in the past, or may be subject to future leakage. Notice: The report is an opinion of the general quality and condition of the roof.\*

**22 Exposed Flashings**  N/A  R/I  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 Vent caps appear serviceable  Wall/trim flashings appear serviceable  
**Skylights**  None  Appears serviceable  Damaged(2)  Non professionally installed(2)  
 Recommend further evaluation\*  No visible flashing at: -----

Notice: Determining the presence of asbestos or hazardous materials is beyond the scope of this inspection.\* Roofs, skylights and flashing are not water tested for leaks.\* Notice: Tenting a home for fumigation may cause damage to roofs -- recommend reinspection for damage after tenting is completed.\*

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**23 Main Line**  N/A  R/I **Main pipe Copper** **Size: 1"** **Pressure: 50 PSI**  AM  PM  
 Water pressure was -----  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
**Main Valve Location** East Side  Not located\*  Operational  Not operational (2)  Not inspected\*  
 Water softener loop installed not  Water was off at the time of inspection, recommend further evaluation\*  
 Recommend further evaluation\*  The main water meter was checked for leaks, no leaks observed.

[See Photo Summary Page](#)

**24 Supply Lines**  N/A  R/I **Supply lines appear to be polyethylene PEX**  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
**Functional Flow** appears serviceable **Exposed lines appear properly insulated**  N/A  Yes  No  
 No leaks observed  Hardwater, recommend softener\*  Cross connection(s) were not observed  
 Recommend further evaluation\*  Observed lines visually appear to be properly supported

[See Photo Summary Page](#)

[See Report Summary for more information](#)

Notice: Underground pipes or pipes inside walls cannot be judged for size, leaks or corrosion.\* Water quality testing or testing for hazards such as lead is not part of this inspection.\* Notice: Be advised that some "Polybutylene" plastic piping systems have experienced documented problems.

**25 Waste Lines**  N/A  R/I **Waste lines appear to be: ABS**  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
**Functional Drainage** appears serviceable  No leaks observed  All vents/traps not fully visible\*  
 Recommend further evaluation\*  Observed lines visually appear to be; properly supported

[See Photo Summary Page](#)

[See Report Summary for more information](#)

Notice: City sewer service, septic systems and all underground pipes are not a part of this inspection. Future drainage performance is also not determined.\* Be advised that some "ABS" plastic piping systems have experienced documented problems. Contact the manufacturer or plumbing expert for further information and evaluation.\*

**26 Fuel System**  N/A  R/I **Shut Valve Location: East Side** **Fuel type is Natural Gas**  
 Appear serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 Shutoff valve appears serviceable  Pipes appears properly supported  
 Recommend further evaluation\*  Fuel system was not on for inspection, did not inspect gas applicances\*

[See Photo Summary Page](#)

[See Report Summary for more information](#)

Notice: Underground piping & fuel tanks cannot be judged. Pipes inside walls or pipes concealed from view cannot be judged and the inspector does not perform tests for gas leaks or pipe size.\*

**27 Water Heaters**  N/A  R/I **Location A Garage** **Type Gas** **Capacity 40 Gallons**  
**Location B -----** **Type -----** **Capacity -----**  
 Appears serviceable  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 Gas shutoff valve(s) appear serviceable  Pilot system appears serviceable  Combustion air appears serviceable  
**Water Shutoff Valve:** installed (no test) appears serviceable  Heater in garage is not on 18" raised platform\* (5)  
**Temperature Pressure Relief Valve:** installed (no test)  Gas Thermocouple appears serviceable  
**Vents and Flues:** appears serviceable  
 Recommend a catch pan with an exterior routed drain line\*  Recommend protecting heater from physical damage\*  
 Recommend further evaluation\* **Model #** \_\_\_\_\_

[See Photo Summary Page](#)

[See Report Summary for more information](#)

Notice: Estimate of remaining life is not part of this inspection. Solar systems are not part of this inspection. Hot water recirculating pumps/systems are not part of this inspection.\*

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**28 Description**  N/A  R/I **Approximate BTU's** Unit A **40,000** **Unit B** N/A **Unit C** N/A

**Air Handler A** Attic **Air Handler B** ---- **Air Handler C** ----  
**Heating Type:** Forced air **Heating Type:** ---- **Heating Type:** ----  
**Fuel Type:** Natural gas **Fuel Type:** ---- **Fuel Type:** ----  
 Recommend further evaluation\* **ELECT DISC:**  Present  Missing  Damaged\* ----

Notice: If a fuel burning heater / furnace is located in a bedroom, we recommend evaluation by a qualified heating contractor for safety and air volume requirements.\*

**29 Condition**  N/A  R/I  **System(s) appear serviceable** Unit A

Not Functional  Unsafe  Worn  Aging  Near end of lifespan  Damage  
 Recommend further evaluation\*

Notice: Inspector does not light pilots. If pilots are "OFF", a full inspection is not possible. It is suggested that heating systems be activated and fully inspected PRIOR TO CLOSE OF TRANSACTION.\*

**30 Venting**  N/A  R/I  Unable to fully inspect vent pipe\*  Not accessible\* ----

Appears serviceable  Defects\*  Recommend further evaluation\*

**31 Combustion**  N/A  R/I  Air supply ----

Appears serviceable  Defects\* ----  Recommend further evaluation\*

**32 Burners**  N/A  R/I  Closed system / unable to inspect\* ----

Appears serviceable  Defects\*  Recommend further evaluation\*

Notice: The inspector is not equipped to thoroughly inspect heat exchangers for evidence of cracks or holes, as this can only be done by dismantling the unit or other technical procedures.\* Some furnaces are designed in such a way that inspection is almost impossible.\* Safety devices are not tested by this company.\*

**33 Distribution**  N/A  R/I **Type: Ducts & Registers**  Recommend further evaluation\*

Appears serviceable  Defects\* Unit A \*  Air ducts not fully visible\*

Each room is cooled by the following HVAC system  Heat Pump  Air Conditioning  Evaporative Cooling  
 Each room is heated by the following HVAC system  Heat Pump  Forced Air Furnace  Wood Burning

Notice: Asbestos materials have been commonly used in heating systems.\* Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection.\*

**COMPREHENSIVE PROPERTY INSPECTIONS**

**Page 10**

**HEATING & AIR CONDITIONING**

**REPORT # : HE0919RL**

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 (5) Upgrades are recommended for safety enhancement  
 \* This item warrants attention/repair or monitoring

**34 Normal Controls**  N/A  R/I  Unable to inspect\*  Utilities off\*  
 **Thermostat(s) appears serviceable**  **Automatic safety controls** -----  
 Recommend further evaluation\*

Notice: Thermostats are not checked for calibration or timed functions.\* Adequacy, efficiency or even heat distribution of the system through the house is not part of this inspection. \*

**35 Air Filter**  N/A  R/I  Missing\*  Wrong size\*  Unable to inspect\*  
 Appears serviceable  Defects\* -----  Recommend further evaluation\*

See Report Summary for more information

Notice: Electronic air cleaners, humidifiers and dehumidifiers are beyond the scope of this inspection. \* Have these systems evaluated by a qualified individual. \*

**36 HVAC Notes**  N/A  R/I  Recommend complete system evaluation (2)  
 Split system  Heat pump heating and cooling  Gas Furnace and A/C

Notice: Verification of the location or condition of underground fuel storage tanks is not part of this inspection.\* Environmental risks, if any, are not included. \*  
 Notice: Asbestos materials have been commonly used in heating systems.\* Determining the presence of asbestos can ONLY be performed by laboratory testing and is beyond the scope of this inspection.\*

**37 Evap Cooler & 38 A/C Condensor**  N/A  R/I **Location(s)** Unit A South Side Ext. B ----- C -----  
**Type:** Split system **Power:**  120volt  240volt  
**ELECT DISC:**  Present  Missing  Damaged\* -----  
 Appears serviceable  Defects\*  Unit is not level\*  
 Recommend further evaluation\*

See Photo Summary Page

See Report Summary for more information

**AIR HANDLER:**  Air handler appears serviceable Unit A\*  Coils appear serviceable -----  
 Coils not inspected due to;  Limited or no access  Sealed unit  Could not open  
**POWER:**  No power - unable to test\* -----  Air temperature split is: 15 Degrees Unit A\*  
 120 Volts  240 Volts Appears serviceable Unit A\*  
**CONDENSATE LINE:**  N/A  Condensate line installed  Line not fully visible\* Unit A\*  
 Terminates exterior  Terminates sink drain  Terminates: into floor drain -----  
 Appears serviceable Unit A\*  Secondary pan active(2) -----  No trap in line\* -----  
**REFRIGERANT LINES:**  N/A  Insulation installed on-lines  Insulation damaged\* Unit A\*  
 Lines not fully visible Unit A\*  Insulation deteriorated\* -----

**Heating / Air Comments**

**DATA PLATE: CARRIER 38EZA042310 UNIT A**

See Report Summary for more information

Notice: The inspector does not perform pressure tests on coolant systems; therefore no representation is made regarding coolant charge or line integrity. Subjective judgment of system capacity is not part of the inspection.



**KEY:** (1) Recommend evaluation by a structural engineer  
 (2) Recommended evaluation and repairs by a licensed contractor  
 (3) Refer to qualified termite report for further information  
 (4) This item is a safety hazard - correction is needed  
 (5) Upgrades are recommended for safety enhancement  
 \* This item warrants attention/repair or monitoring

Room Location	A) Living	B) Dining	C) Kitchen	D) Hallway	E) Laundry	F) Master	G) Bed2
	H) Bed3	I) Bed4	J) Bath A	K) Bath B	L)	M)	N)

**45 DOORS (Entry)**  N/A  R/I  **Appears serviceable**  **Recommend further evaluation\***

**Hardware** operational **Doorbell** operational **Jamb** operational **Wx Stripping** serviceable

**46 & 47 DOORS (Interior & Exterior)**  N/A  R/I  **Recommend further evaluation\***

**Doors serviceable except**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Closet doors serviceable except**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Sliding doors serviceable except**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Screen doors serviceable except**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

[See Photo Summary Page](#) [See Report Summary for more information](#)

**48 Windows**  N/A  R/I **Type:** **Double pane** **Aluminum Sliding**

**Windows serviceable except at**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Screens serviceable except at**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Recommend further evaluation\***  **Emergency egress;** -----  **Window(s) not tempered(4)(5)**

[See Photo Summary Page](#) [See Report Summary for more information](#)

Notice: Determining condition of all insulated windows is not possible due to temperature, weather and lighting variations. Check with owner for further information.

**49 Interior Walls**  N/A  R/I **Type:**  **Drywall**  **Plaster**  **Paneling**  -----

**Walls serviceable except at**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Recommend further evaluation\***  **Furnishings prevent full inspection -- do a careful check on your final walkthrough.**

[See Report Summary for more information](#)

Notice: The condition of walls behind wallpaper, paneling and furnishings cannot be judged.

**50 Ceilings**  N/A  R/I **Type:**  **Drywall**  **Acoustic Spray**  **Plaster**  **Other**

**Ceilings serviceable except at**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Recommend further evaluation\***  **Column(s) type;** -----

[See Photo Summary Page](#) [See Report Summary for more information](#)

Notice: Determining whether acoustic sprayed ceilings contain asbestos is beyond the scope of this inspection. For more information please contact the American Lung Association or an asbestos specialist.

**51 Floors**  N/A  R/I **Type:**  **Carpet**  **Tile**  **Vinyl**  **Wood**  -----

**Floors serviceable except at**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Cracked tiles at** -----  **Tile grout lifting or missing in a few areas.\***  **Floor squeaks\***

**Recommend further evaluation\***  **Furnishings prevent full inspection -- do a careful check on your final walkthrough.**

Room Location	A) Living	B) Dining	C) Kitchen	D) Hallway	E) Laundry	F) Master	G) Bed2
	H) Bed3	I) Bed4	J) Bath A	K) Bath B	L)	M)	N)

**52 Fireplace(s)**  N/A  R/I **Type:** **Prefabricated**  **Gas shutoff valve;** -----

**Appears Serviceable**  **Not Functional\***  **Damaged\***  **Unsafe\***  **Worn\***  **Near end of lifespan\***

**Fireplace appears serviceable**  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

**Wall Switch Ignition**  **Manual light**  **Dirty Flue, Recommend Cleaning\***

**Recommend further evaluation\***  **Damper not provided\***  **Damper not operational\***  **Damper clip missing (4)**

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Room Location	A) Living	B) Dining	C) Kitchen	D) Hallway	E) Laundry	F) Master	G) Bed2
	H) Bed3	I) Bed4	J) Bath A	K) Bath B	L)	M)	N)

**53 Interior Features**  N/A  R/I  Wet bar serviceable  Recommend further evaluation\*

Cabinets serviceable except at;  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

Interior stairs appear serviceable  Stair handrails appear serviceable

Items installed not inspected:  Central vacuum  Security system  Intercom  Home network  Fire sprinklers

**54 Smoke Detector**  N/A  R/I  Suggest additional detectors in appropriate locations\* (5)

Detectors serviceable except at;  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

Detectors missing/damaged at;  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

Recommend further evaluation\*  Recommend adding carbon monoxide (CO) detectors as a safety upgrade (5)

[See Report Summary for more information](#)

**55 Laundry**  N/A  R/I **Locations:**  Laundry Room  Closet  Garage  Basement

Piping (water&waste) serviceable  Not inspected\*  Not viewed\*  
 Electrical outlet grounded (120 Volt)  Unable to test\*  Ungrounded\*  
 240 volt outlet operational  Not inspected\*  Not viewed\*  
 Gas shutoff appears serviceable  N/A  No gas provided  Unable to view\*  
 Dryer venting appears serviceable  Vents outside  Vents into garage  Not provided\*  Not viewed

**Laundry Sink & Cabinets**

Laundry sink(s)  N/A  Appear serviceable  Defective\*  
 Laundry sink cabinet(s)  N/A  Appear serviceable  Defective\*  
 Laundry wall cabinet(s)  N/A  Appear serviceable  Damaged\*  
 Laundry exhaust fan  N/A  Appears serviceable  Noisy\*  Damaged\*

[Recommend further evaluation\\*](#) **W/D Model#s** N/A

[See Photo Summary Page](#) [See Report Summary for more information](#)

**56 Attic**  N/A  R/I  Full  Partial **Roof Type:**  Truss  Rafter Framing 2 X 4  
**Ceiling Type:**  Truss  Joist Framing 2 X 4

How Inspected:  Entered  Access ----- **Location** Hall  Roof/ceiling structures appear serviceable  
 Appear serviceable  No stains visible  Small stains\*  Moderate stains (2)  Major stains (2)

Fire wall appears serviceable

Ventilation serviceable  No ventilation\*  Unable to determine condition of attic ventilation due to no attic access

**Insulation Type** Blown In **Approximate depth:** 8 inches  No insulation\*  Poor coverage\*  
 Recommend further evaluation\*  Air/vapor barrier present  Air/vapor barrier not required

[See Photo Summary Page](#) [See Report Summary for more information](#)

Room Location	A) Living	B) Dining	C) Kitchen	D) Hallway	E) Laundry	F) Master	G) Bed2
	H) Bed3	I) Bed4	J) Bath A	K) Bath B	L)	M)	N)

**Rooms Electrical**  N/A  R/I  Recommend further evaluation\*

Electric outlets serviceable except  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

Light switches serviceable except  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

Ceiling fans serviceable except  N/A  A  B  C  D  E  F  G  H  I  J  K  L  M  N

Attic electrical items  Appears serviceable  Not viewed\*

[See Report Summary for more information](#)

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**GARAGE / CARPORT:** Type:  N/A  Attached  Detached  Carport  -----

**57 Floor**  N/A  R/I  Appears serviceable  Defects\*  Epoxy coating  
 Recommend further evaluation\*  Common cracks  No cracks found  Not fully visible\*

See Report Summary for more information

**58 Firewall / Ceiling**  N/A  R/I  Not fully visible\*  Does not appear fire rated (4)  
 Appears serviceable  Defects\*  Common cracks  Moisture stains\*  Damaged\*

Recommend further evaluation\*

[See Photo Summary Page](#)

See Report Summary for more information

**59 Ventilation**  N/A  R/I  Appears serviceable  Recommend further evaluation\*

**60 Door To Interior**  N/A  R/I Type:  Solid  Rated Door  Hollow Core (Non-Fire Resistive)\*

Appears serviceable  Defects\*  Pet door interrupts integrity of fire door (2)(4)  
 Bad  Weatherstripping  Door does not  
 Recommend further evaluation\*  Self closer operational  Closer non operational(4)  Closer not installed(5)

**61 Exterior Door**  N/A  R/I  Appears serviceable  Defects\*  Needs adjustment\*

**Garage exterior door closer**  N/A  Appears serviceable  Inoperative\*  Not installed\*  
 Recommend further evaluation\*

**62 Vehicle Door(s)**  N/A  R/I Type:  Roll Up  Tilt-Up  Sliding  N/A

Appears serviceable  Defects\*  Needs adjustment\*  Needs balancing\*  
 Rollers damaged(2)  Tracks damaged(2)  Tension cable damaged(2)  
 Recommend further evaluation\*  Door weather stripping serviceable  Door weather stripping damaged\*

[See Photo Summary Page](#)

See Report Summary for more information

**63 Automatic Opener**  N/A  R/I  Appears serviceable  Non-operational\*  Not tested\*

Recommend further evaluation\* **Self Reverse:** Not functional(2)(4) **Photo sensor(s):** Appears serviceable

See Report Summary for more information

**64 Electrical**  N/A  R/I  Appears serviceable  Defects\*  Recommend further evaluation\*

Improper wiring (2)(4)  Exposed wiring subject to damage \*(4)  Extension cords used as permanent wiring (2)(4)  
 Outlets serviceable  Outlet(s) are inaccessible\*  Outlet(s) defective(2)  GFCI appears serviceable

**65 Comments** Garage cabinets if installed were not inspected.\*

Occupant belongings block view of entire garage-unable to fully inspect.\* Do a careful check on your final walk-through.\*

**COMPREHENSIVE PROPERTY INSPECTIONS**

**Page 15**

**KITCHEN**

**REPORT # :** HE0919RL

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**66 Kitch. Sink(s)**  N/A  R/I  Recommend further evaluation\*  Hot & cold water reversed\*(4)  
**Sink(s)**  Appears serviceable  Minor wear  Heavy wear\*  Chipped\*  Sink is loose\*  Slow draining\*  
**Faucet(s)**  Appear serviceable  Non-operational(2)  Defective(2)  Spray wand defective\*  
 **Faucet functional flow appears**  **Drain functional flow appears**

[See Photo Summary Page](#) [See Report Summary for more information](#)

**67 General**  N/A  R/I **Counter Type:**  Tile  **Laminate**  Granite  Not fully visible\*  
**Countertops**  Appear serviceable  Damaged\*  Lightly worn  Moderate damage\*  Heavy wear\*  
**Cabinets:**  Appear serviceable  Minor wear  Moderate damage\*  Heavy wear\*  Heavy damage\*  
 Moisture stains below sink\*  Moisture damage below sink\*  Restricted view below sink\*  
 Other features/appliances present with limited inspection include:\* -----  
 Recommend further evaluation\*

[See Photo Summary Page](#) [See Report Summary for more information](#)

**68 Disposal**  N/A  R/I  **Appears serviceable**  Splash guard damaged\*  
 Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 Switch is in a hazardous location (2)(4)  Unit makes unusual noise\*  Missing wire clamp at disposal\*  
 Recommend further evaluation\*

**69 Range/Cooktop**  N/A  R/I **# of ovens:** 1  Gas  **Electric**  Combination  Electric Ignition  
 **Appears Serviceable**  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 **Oven door(s) appear(s) serviceable**  Not Inspected (power/gas off)\*  Door(s) gasket(s) appear(s) serviceable  
 Anti tip missing(4) **Micro/Hood Model #** **GE JVM1842WF001**  Exhaust ventilation appears serviceable  
 Gas shutoff valve A/S  Gas shutoff valve installed  Gas shutoff not installed  Gas shutoff defective(2)(5)  
 Recommend further evaluation\*  Clock appears serviceable **RModel#** **WHIRLPOOL RF378LXKQ**

Notice: Self and/or continuous cleaning operations, clocks, timing devices, lights and thermostat accuracy are not tested during this inspection.\* Appliances are not moved.\*

**70 Dishwasher**  N/A  R/I  Recommend further evaluation\* **Model #** **MAYTAG MDB7609AWW2**  
 **Appears serviceable**  Defective\*  Unsafe\*  Worn\*  Near end of lifespan\*  Not fully visible\*  
 **Door seals appear serviceable**  Soap door inoperative\*  Unit is not secured to cabinets\*  
**DRAIN LINE INSTALLATION:**  Air gap device  High loop  None  Improper\*

Notice: Determining the adequacy of washing and drying functions of dishwashers is not part of this inspection.\*

**71 Kitchen Electric**  N/A  R/I  **Appears serviceable**  Defects\*  
 GFCI appear serviceable  GFCI inoperative(2)(4)  GFCI recommended ALL countertop outlets(2)(4)  
 Dishwasher outlet appears serviceable  Dishwasher outlet defective(2)(4)  
 Recommend further evaluation\* **Refrigerator** **Model #** **WHIRLPOOL GS6SHAXMQ00**

[See Report Summary for more information](#)

Notice: Refrigerators, freezers and built-in ice maker are not part of this inspection\*

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 \* This item warrants attention/repair or monitoring

LOCATION: Bath A Main      B Master      C      D      E      F

**72 Toilet**       N/A     R/I     Recommend further evaluation\*

Appears serviceable	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Toilet loose at floor*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Loose toilet tank*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Does not flush properly*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F

**73 Sink**       N/A     R/I     Recommend further evaluation\*

Appears serviceable	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
<b>Functional flow appears serviceable</b>	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
<b>Functional drainage appears serviceable</b>	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Faucet leaks*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Sink cracked*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Slow draining*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Sink stopper defective or missing	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Counter & cabinets appears serviceable	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Damage to counter*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F

[See Photo Summary Page](#)

[See Report Summary for more information](#)

**74 Vent / Heat**     N/A     R/I    **Appears serviceable**     A     B     C     D     E     F  
 Recommend further evaluation\*     Venting by window only     No bathroom venting\*

**75 Bathtub**       N/A     R/I     Recommend further evaluation\*

Damage to tub*	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
<b>Faucet appears serviceable</b>	<input checked="" type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
<b>Drain appears serviceable</b>	<input checked="" type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Whirlpool not tested(2)	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Tub is not applicable to this bathroom	<input type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F

[See Photo Summary Page](#)

[See Report Summary for more information](#)

**76 Shower**       N/A     R/I     Recommend further evaluation\*

Appears serviceable	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
<b>Functional flow appears serviceable</b>	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
<b>Functional drainage appears serviceable</b>	<input checked="" type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Moisture damage to wall (2)(3)	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Shower enclosure appears serviceable	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Shower door appears serviceable	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Shower head drips(2)	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Seals needed at enclosure*	<input type="checkbox"/> A	<input checked="" type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Shower diverter in need of repair at	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F
Shower is not applicable to this bathroom	<input type="checkbox"/> A	<input type="checkbox"/> B	<input type="checkbox"/> C	<input type="checkbox"/> D	<input type="checkbox"/> E	<input type="checkbox"/> F

[See Photo Summary Page](#)

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Notice: Determining whether shower pans are watertight is beyond the scope of this inspection.\*

**COMPREHENSIVE PROPERTY INSPECTIONS**

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**POOL / SPA & EQUIPMENT**

**REPORT # : HE0919RL**

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**77 Pool / Spa Type**  N/A  R/I  Below Ground  Above Ground  Water Feature  
 Plaster / Gunite  Pebble Finish  Spa only

Notice: Pool and spa bodies are beyond the scope of this inspection. \* The information regarding the type of pool/spa is given as a courtesy only.

**78 Heater**  N/A  R/I  Gas  Electric  Solar Panels (not tested)  
 Appears serviceable  Gas/breakers off\*  Gas shut-off not provided (2)  Could not determine operation\*  
**Pressure Limit Switch**  Appears serviceable  Inoperative (2)  Could not determine operation\*  
**Body bond**  Present  Missing\*  Not installed\*  
**Burners**  Burners serviceable  Corroded\*  Damaged\*  Recommend further evaluation\*

**79 Filter**  N/A  R/I  Cartridge Filter  Diatomaceous Earth Filter  Sand Filter  
**Pressure gauge**  Appears serviceable  Inoperative\*  Broken glass\*  Missing\*  Cartridge Filters not inspected  
**Bleeder valve**  Appears serviceable  Inoperative\*  None provided\*  Recommend further evaluation\*  
**Sanitizing System**  Chlorine  Bromine  Salt  None found\*  Equipment pad serviceable  Pad damaged\*

**80 Pumps**  N/A  R/I **Pumps:**  Circulation  Spa Jet pump  Vacuum pump  Recommend evaluation(2)  
 Circulation pump appears serviceable  Pump did not operate (2)  Defective (2)  
 Body bond present  No body bond(5)  Loose body bond\*  Recommend adding body bond wire(5)  
 Spa Jet pump operated when tested  Pump did not operate (2)  Defective (2)  
 Body bond present  No body bond(5)  Loose body bond\*  Recommend adding body bond wire(5)  
 Vacuum pump operated when tested  Pump did not operate (2)  Defective (2)

**81 Blowers**  N/A  R/I  Air Bubbler  Supplemental Jet Pump  Recommend further evaluation\*  
 Blower appears serviceable  Blower did not operate (2)  Not tested due to: \* -----

**82 Electrical**  N/A  R/I **Breaker Location:**  Main Panel  At Equipment  
**Wiring:**  Liquid Tite Flex  Rigid Conduit  NM Cable (Romex) (2)  
 Wiring appears serviceable  Improper wiring noted (2)(4)  Improper conduit (2)  Deteriorated conduit (2)  
 Pool Lights  Appears serviceable  Inoperative (2)  Could not determine operation\*  
 Pool GFCI  Appears serviceable  Inoperative (2)  Could not determine operation\*  
 Spa Lights  Appears serviceable  Inoperative (2)  Could not determine operation\*  
 Spa GFCI  Appears serviceable  Inoperative (2)  Could not determine operation\*  
 Timers: Equipment  On  Off at time of inspection  Power is off - could not verify operation\*  
 Equipment timer(s) serviceable  Inoperative (2)  Missing disconnect(2)  No wire protector\*  
 Body bond present  No body bond(5)  Loose body bond\*  Recommend adding body bond wire(5)  
 Remote switches appear operational  Recommend further evaluation\*

**83 General**  N/A  R/I **Safety barriers for Pool/Spa:**  Yes  No\* (Caution) (5)  Inoperative\* (5)  
 Recommend further evaluation\* **Self-closing/latching Gate:**  Yes  No\* (Caution) (5)  Inoperative\* (5)  
 Coping appears serviceable  Lifting\*  Settling\*  Cracked\*  Major cracks (2)  
 Surrounding deck/concrete appears serviceable  Common cracks  
**Pool cleaning system is:** Vacuum system  Appears serviceable  Anti siphon appears serviceable  
**Pool auto fill:** appears serviceable  Will need to fill pool manually by hose.\*  
**Aerator:** appears serviceable **Anti vortex drain:**  appears serviceable  not installed (5)  missing (5)

## REPORT SUMMARY

- (1) Recommend evaluation by a structural engineer
- (2) Recommended evaluation and repairs by a licensed contractor
- (3) Refer to qualified termite report for further information

- (4) This item is a safety hazard - correction is needed
- (5) Upgrades are recommended for safety enhancement
  - \* This item warrants attention/repair or monitoring

This Report Summary is provided as a courtesy for quick access to the information within the inspection report. It is not intended as a substitute for reading the inspection report.

**Client:** Mr. John Smith

**Report #:** HE0919RL

### 1. Driveway

Common cracks were found in the driveway.

### GROUPS

### Page 4

### 2. Sidewalks

Sidewalk has minor cracking with some separation, recommend repairs to prevent further damage.

### 3. Retaining Walls

Retaining wall is moisture stained, recommend directing water away from the wall.

### 4. Patio

Patio pavers are shifted in a few areas creating tripping hazards, recommend repairs as needed. Brick curbing is lifted and displaced by the tree root.\* Common cracks were noted at the patio.

### 5. Patio Cover

Patio post and slab appear to be moisture stained by sprinklers over spray, recommend directing sprinklers away from the patio.

### 6. Decks/Porches

N/A

### 7. Fences & Gates

Recommend further evaluation\*

Pilaster for the side gate is loose and shifted from the structure, recommend securing for easier operation of the side gate. Light rust and weathering was noted on the side gate. Recommend regular maintenance and repairs to prevent damage. Block fence appears settled at the southwest side with loose blocks and cracked mortar, recommend repairs.

### 8. Exterior Stairs

### EXTERIOR

### Page 5

N/A

### 9. Exterior Walls

Recommend further evaluation\*

Recommend sealing around the copper pipe at the east side. Exterior stucco is in need of repair in a few areas including at the south outlet. Paint at the exterior stucco is faded and cloudy, painting is recommended.

### 10. Trim /Eaves, Soffits & Fascia

Recommend further evaluation\*

Exterior wood trims need sealing (caulk / paint) for weather protection.

### 11. Chimney

N/A

### 12. Sprinklers

Valves for the sprinkler water supply are rusted and corroded, recommend maintenance for easier operation.

### 13. Hose Faucets

Hose faucet valve stem leaks at one or more faucets, recommend repairs.\*

### 14. Gutters & Down spouts

Recommend adding gutters and down spouts to prevent moisture damage to the foundation.\*

### 15. Lot Drainage / Grading

**FOUNDATION**

**Page 6**

### 16. Slab on Grade, 17. Raised Foundation, 18. Basement

### Floor Construction Comments

### Basement Stairs Comments

N/A

### 19. Main Roof

Recommend further evaluation\*

**ROOF**

**Page 7**

Recommend trimming the tree that contacts and overhangs the roof at the southwest corner. Main roof has 2 or more damaged tiles, recommend repairs.(2) Roof appear to lack sufficient space between tiles in the valleys and debris is not properly shed, recommend trimming the tiles to allow proper water flow and debris shedding.(2) Main roof ha 1 or more displaced tiles, recommend repositioning and securing.(2) Mortar on the main roof is cracked and separated, recommend repairs. (2) Moisture stains were found in the attic at the rafter for the north hip, recommend further evaluation of the roof and repairs as needed.(2)

### 20. Second Roof

N/A

### 21. Third Roof

N/A

### Roof Notes

Several concerns regarding the roof has been observed, recommend a full evaluation and repair from a licensed contractor. (2)  
NOTE: The life span of the roofing paper under roof tiles cannot be determined, typical life span is less than 20 years.

### 22. Exposed Flashing

### 23. Main Line

**PLUMBING**

**Page 8**

### 24. Water Supply Lines

Water supply valves and supply lines at the kitchen and bathrooms including the toilets are aging and/or corroded, recommend replacing.

### 25. Waste Lines

Recommend further evaluation\*

Drain pipes are corroded in main bath A and master bath B. No current moisture issues were found.\* Water softener drain line drains into a dry vent pipe in the attic, recommend rerouting as moisture should not be drained into a dry vent pipe.(2)

### 26. Fuel System

No visible sediment traps are installed in the fuel lines for the water heater and furnace, recommend adding for proper operation of the appliances.(2)

### 27. Water Heater(s)

Water shut off valve is corroded at the water heater, recommend replacing. Common cracks were noted at the water heater platform. Recommend a water heater catch pan with an exterior routed drain line.\*

### 28. Description

**HEATING**

**Page 9**

## 29. Condition

## 30. Venting

## 31. Combustion Air

## 32. Burners

## 33. Distribution

## 34. Normal Controls

**HEATING Page 10**

## 35. Air Filters

Suggest changing the air filters for better HVAC operation.

## 36. Heating Notes

## 37.& 38. Evaporative Cooler/Air Conditioner

The primary condensation drain line extends too far beyond the wall and is subject to damage, recommend shortening. The insulation on the A/C exterior refrigerant line is damaged, recommend replacing.

## Heating and Air Comments

Support strap for the attic air handler is loose or disconnected, recommend repairs for proper support of the unit. The attic air handler coils were not accessible, as the unit was sealed. Recommend replacing the plug in the secondary drain port in the attic air handler coil cabinet with proper type fitting to allow drainage out of the unit and into the catch pan if the primary drain line becomes restricted. Secondary catch pan for the attic air handler has been cut below the drain line, recommend replacing the pan to prevent moisture damage in the event the secondary pan becomes active.

## 39. Electric Service

**ELECTRICAL**

**Page 11**

## 40. Main Panel

## 41. Conductors,42. Sub-panel(s),43. Panel Notes

N/A

## 44. Wiring Notes

**Recommend further evaluation\***

Recommend securing conduit to the wall at the landscape timer. Romex wire has been used inside conduit at the landscape timer, recommend repairs with proper type wire.(2) Seals are missing from one or more exterior outlet covers, recommend upgrading the covers to "in use weather tight covers" that can be closed when in use. Covers are cracked at multiple outlets including at the refrigerator, washing machine, bedroom #2 south wall and bedroom #4 north and east walls, recommend replacing. Switch cover is cracked in bedroom #2, recommend replacing.

## 45. Entry Doors

**INTERIOR**

**Page 12**

## 46. & 47 . Interior & Exterior Doors

Seal for the sliding door is slightly damaged or displaced. Closet doors need adjustment in bedroom #2. Blinds for the sliding door is missing slats.

## 48. Windows

Living room window needs repair for proper operation. Window seals are damaged or displaced in various areas including the kitchen, bedroom #2 and both bathrooms.\* Windows were not fully visible due to sun screens installed.

## 49. Interior Walls

Common cracks and nail pops were found at the ceilings and walls in a few areas.

## 50. Ceilings

Common cracks and nail pops were found at the ceilings and walls in a few areas.

## 51. Floors

## 52. Fireplace

N/A

## 53. Interior Features

**INTERIOR Continued Page 13**

## 54. Smoke Detectors

Smoke detectors operated normally.

## 55. Laundry

**Recommend further evaluation\***

Laundry valves leak, recommend replacing. Cabinets in the laundry do not appear to be secured and may be too heavy for the shelf, recommend removing.

## 56. Attic

Moisture stains were found in the attic at the rafter for the north hip, recommend further evaluation of the roof and repairs as needed.(2)

## Rooms Electrical

Ceiling fan remote is missing in bedroom #2.

## 57. Floor

**GARAGE**

**Page 14**

Common cracks were found on the garage floor.

## 58. Firewall/Ceiling

**Recommend further evaluation\***

Drain line for the water softener passes through the garage firewall, recommend rerouting the drain line and repairs o the opening. Ceiling has common cracks.

## 59. Ventilation

## 60. Door to Living Space

## 61. Exterior Door

N/A

## 62. Vehicle Door

Separation was observed at the base of the vehicle door weather seal and trim. Recommend repairs to prevent further movement or damage. Garage door lower seal is damaged, recommend repairs replacing. Garage door manual pull rope is missing, recommend replacing.

## 63. Automatic Opener

The automatic reverse did not operate normally at the the time of the inspection. This sensitivity reversing is intended to help prevent damage to objects or persons that may be in the way of the closing door. Recommend adjustments/repairs for safety. (4)

## 64. Garage Electrical

## 65. Garage Comments

## 66. Sink(s)

**KITCHEN**

**Page 15**

Kitchen faucet leaks when operated, recommend repairs / replacing. Rust and corrosion were found under the kitchen sink at the faucet connection, recommend ensuring the faucet is properly sealed to the sink. Water supply valves and supply lines at the kitchen and bathrooms including the toilets are aging and/or corroded, recommend

## 67. Kitchen General

Moisture damage was noted under the kitchen sink. No current moisture issues were found.

## 68. Garbage Disposal

## 69. Range / Oven / Cook top

## 70. Dishwasher

## 71. Kitchen Electric

Refrigerator door handles are loose and the doors need adjustment.

## 72. Toilet

**BATHROOMS**

**Page 16**

## 73. Sink

Drain pipe is corroded in master bath B. No current moisture issues were found. Trim for the bathroom cabinet is loose in master bath B, recommend securing. Water supply valves and supply lines at the bathrooms including the toilets are aging and/or corroded, recommend replacing. Drain stoppers are inoperative in both bathrooms.

## 74. Ventilation / Heat

## 75. Bathtub

Recommend sealing the tub spout to the wall in main bath A. Bathtub is slow to drain in main bath A.

## 76. Shower

Deterioration was observed to the shower enclosure glass seals in master bath B. Recommend replacement / repairs to ensure water tightness of the enclosure. Moisture damage was observed to the wall and/or baseboard at the shower-wall area in bath , recommend replacing damaged materials as needed as well as resealing the enclosure. Minor separation and mildew stains were observed in the shower caulking in master bath B, recommend cleaning / replacing as needed. Shower head leaks when operated in main bath A. Shower door does not latch properly in master bath B.

## 77. & 78. Body Type, Heater

**POOL / SPA**

**Page 17**

N/A

## 79. Filter

N/A

## 80. Pumps

N/A

## 81. Blowers

N/A

## 82. Electrical

N/A

## 83. General Comments

N/A



Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

1

Related to: **44. Wiring Notes**



Recommend securing conduit to the wall at the landscape timer.

2

Related to: **44. Wiring Notes**



Romex wire has been used inside conduit at the landscape timer, recommend repairs with proper type wire.(2)

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

**Subject Property**

New House Drive  
Phoenix, AZ 85392

3

Related to: **2. Sidewalks**



Sidewalk has minor cracking with some separation, recommend repairs to prevent further damage.

4

Related to: **62. Vehicle Door**



Separation was observed at the base of the vehicle door weather seal and trim. Recommend repairs to prevent further movement or damage.

Garage door lower seal is damaged, recommend repairs replacing.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

5

Related to: **9. Exterior Walls**



Recommend sealing around the copper pipe at the east side.

6

Related to: **7. Fences & Gates**



Pilaster for the side gate is loose and shifted from the structure, recommend securing for easier operation of the side gate.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

7

Related to:

7. Fences & Gates



Light rust and weathering was noted on the side gate. Recommend regular maintenance and repairs to prevent damage.

8

Related to:

12. Sprinklers



Valves for the sprinkler water supply are rusted and corroded, recommend maintenance for easier operation.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

9

Related to: 37.& 38. Air Conditioner



The primary condensation drain line extends too far beyond the wall and is subject to damage, recommend shortening.

10

Related to: 37.& 38. Air Conditioner



The insulation on the A/C exterior refrigerant line is damaged, recommend replacing.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

11

Related to: **9. Exterior Walls**



Exterior stucco is in need of repair in a few areas including at the south outlet.

12

Related to: **10. Trim & Fascia**



Exterior wood trims need sealing (caulk / paint) for weather protection.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

13

Related to:

9. Exterior Walls



Paint at the exterior stucco is faded and cloudy, painting is recommended.

14

Related to:

19. Main Roof



Recommend trimming the tree that contacts and overhangs the roof at the southwest corner.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

15

Related to:

5. Patio Cover



Patio post and slab appear to be moisture stained by sprinklers over spray, recommend directing sprinklers away from the patio.

16

Related to:

4. Patio



Brick curbing is lifted and displaced by the tree root.\*

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

17

Related to:

4. Patio

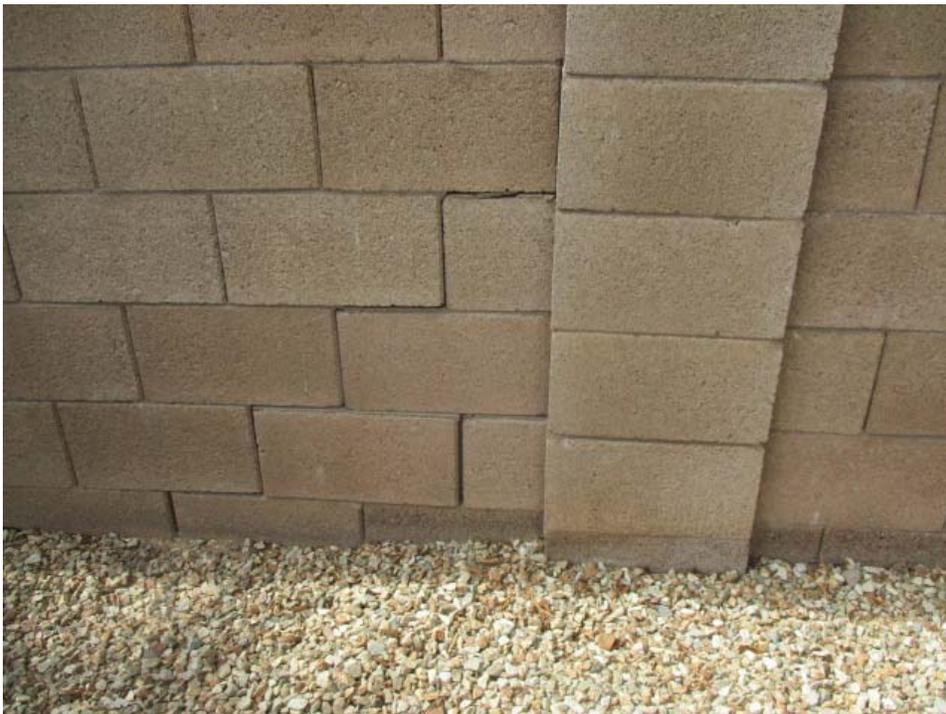


Patio pavers are shifted in a few areas creating tripping hazards, recommend repairs as needed.

18

Related to:

7. Fences & Gates



Block fence appears settled at the southwest side with loose blocks and cracked mortar, recommend repairs.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

19

Related to:

**3. Retaining Walls**



Retaining wall is moisture stained, recommend directing water away from the wall.

20

Related to:

**19. Main Roof**



Main roof has 2 or more damaged tiles, recommend repairs.(2)

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

**Subject Property**

New House Drive

Phoenix, AZ 85392

21

Related to:

19. Main Roof



Main roof has 2 or more damaged tiles, recommend repairs.(2)

22

Related to:

19. Main Roof



Roof appear to lack sufficient space between tiles in the valleys and debris is not properly shed, recommend trimming the tiles to allow proper water flow and debris shedding.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

23

Related to: **19. Main Roof**



Main roof ha 1 or more displaced tiles, recommend repositioning and securing.(2)

24

Related to: **19. Main Roof**



Mortar on the main roof is cracked and separated, recommend repairs. (2)

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

25

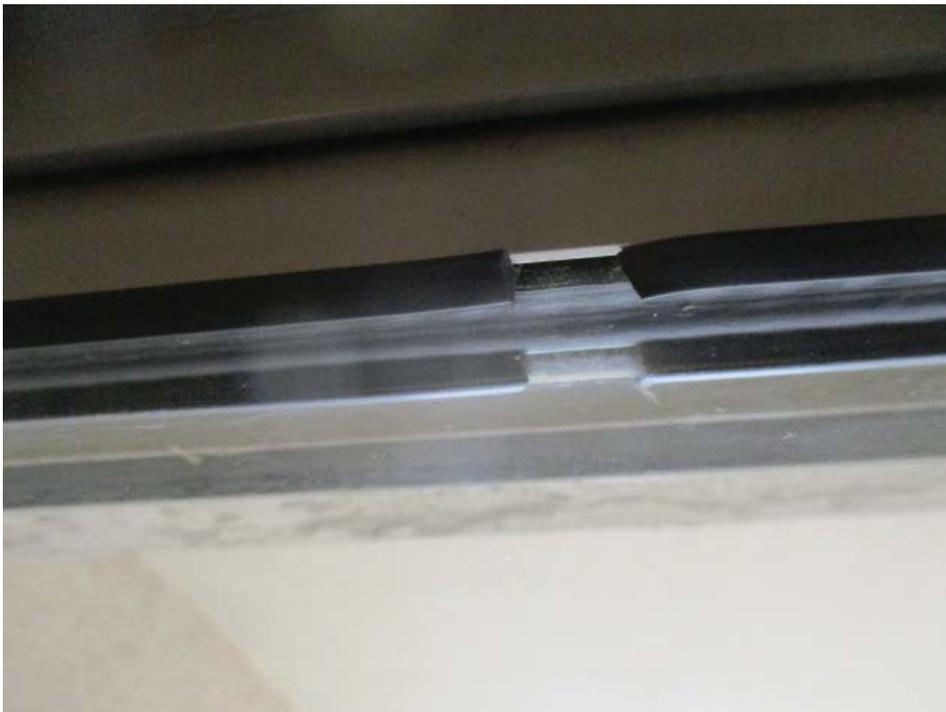
Related to: **48. Windows**



Living room window needs repair for proper operation.

26

Related to: **46. Interior 47. Exterior Doors**



Seal for the sliding door is slightly damaged or displaced.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

27

Related to: **48. Windows**



Window seals are damaged or displaced in various areas including the kitchen, bedroom #2 and main bath A.\*

28

Related to: **66. Sink(s)**



Kitchen faucet leaks when operated, recommend repairs / replacing.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

29

Related to:

66. Sink(s)



Rust and corrosion were found under the kitchen sink at the faucet connection, recommend ensuring the faucet is properly sealed to the sink.

30

Related to:

67. Kitchen General



Moisture damage was noted under the kitchen sink. No current moisture issues were found.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

31

Related to: **24. Water Supply Lines**



Water supply valves and supply lines at the kitchen and bathrooms including the toilets are aging and/or corroded, recommend replacing.

32

Related to: **73. Sink**



Drain pipe is corroded in master bath B. No current moisture issues were found.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

33

Related to:

66. Sink(s)



Water supply valves and supply lines at the kitchen and bathrooms including the toilets are aging and/or corroded, recommend replacing.

34

Related to:

73. Sink



Trim for the bathroom cabinet is loose in master bath B, recommend securing.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

35

Related to:

76. Shower



Deterioration was observed to the shower enclosure glass seals in master bath B. Recommend replacement / repairs to ensure water tightness of the enclosure.

36

Related to:

48. Windows



Window seals are damaged or displaced in various areas including the kitchen, bedroom #2 and both bathrooms.\*

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

37

Related to: **76. Shower**



Moisture damage was observed to the wall and/or baseboard at the shower-wall area in bath , recommend replacing damaged materials as needed as well as resealing the enclosure.

38

Related to: **76. Shower**



Minor separation and mildew stains were observed in the shower caulking in master bath B, recommend cleaning / replacing as needed.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

39

Related to: **55. Laundry**



Cabinets in the laundry do not appear to be secured and may be too heavy for the shelf, recommend removing.

40

Related to: **46. Interior 47. Exterior Doors**



Closet doors need adjustment in bedroom #2.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

41

Related to: **50. Ceilings**



Common cracks and nail pops were found at the ceilings and walls in a few areas.

42

Related to: **25. Waste Lines**



Drain pipes are corroded in main bath A and master bath B. No current moisture issues were found.\*

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

43

Related to: **73. Sink**



Water supply valves and supply lines at the bathrooms including the toilets are aging and/or corroded, recommend replacing.

44

Related to: **75. Bathtub**



Recommend sealing the tub spout to the wall in main bath A.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

45

Related to: **76. Shower**



Shower head leaks when operated in main bath A.

46

Related to: **27. Water Heater(s)**



Water shut off valve is corroded at the water heater, recommend replacing.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

47

Related to: **58. Firewall/Ceiling**



Drain line for the water softener passes through the garage firewall, recommend rerouting the drain line and repairs o the opening.

48

Related to: **26. Fuel System**



No visible sediment traps are installed in the fuel lines for the water heater and furnace, recommend adding for proper operation of the appliances.(2)

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

49

Related to: **27. Water Heater(s)**



Common cracks were noted at the water heater platform.

50

Related to: **37.& 38. Air Conditioner**



Support strap for the attic air handler is loose or disconnected, recommend repairs for proper support of the unit.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive

Phoenix, AZ 85392

51

Related to: **37.& 38. Air Conditioner**



The attic air handler coils were not accessible, as the unit was sealed.

52

Related to: **37.& 38. Air Conditioner**



Recommend replacing the plug in the secondary drain port in the attic air handler coil cabinet with proper type fitting to allow drainage out of the unit and into the catch pan if the primary drain line becomes restricted.

Client: Mr. John Smith

Schedule Date : Monday, September 19, 2016

Subject Property

New House Drive  
Phoenix, AZ 85392

53

Related to: **37.& 38. Air Conditioner**



Secondary catch pan for the attic air handler has been cut below the drain line, recommend replacing the pan to prevent moisture damage in the event the secondary pan becomes active.

54

Related to: **56. Attic**



Moisture stains were found in the attic at the rafter for the north hip, recommend further evaluation of the roof and repairs as needed.(2)



Congratulations on your new home. Owning a home is one of the biggest investments you will make and one that will need constant monitoring. We have put together a list of items that you may wish to consider to properly maintain your home and to help extend the life of your new home.

Let's start with the outside...

### **POOL/SPA**

If you have a pool or spa, we recommend having your equipment checked by a licensed pool technician at least once a year. These yearly checks may help reduce premature repair/replacement component costs.

(Typical pool inspection costs range from \$35 to \$50)

### **GRADE/FOUNDATION**

We recommend periodic inspections of the entire perimeter exterior foundation wall for signs of moisture damage. The number one cause of foundation deterioration is ponding water at the foundation wall. We recommend having the grade slope away from the foundation and a minimum of 4 to 6 inches from the grade to the stucco screed to help keep moisture from penetrating the exterior wall.

### **ELECTRICAL**

We strongly recommend monthly testing of all GFCI outlets with the test button. This will help identify any faulty circuits that are controlled by the GFCI.

(Typical GFCI outlet lifespan are 5 to 10 years)

### **ROOF**

Periodic visual inspections should be performed of the roofing material to help identify possible water shedding problems. This includes tiles or shingles, roofing paper, flashing and patio roof structures. You may want to visit the attic area occasionally to see if there are signs of moisture damage at the roofing structure.

(Typical life expectancy of the roofing material is 12 to 15 years)

### **GARAGE**

The vehicle door should be checked periodically for proper balancing and lubrication. If a door opener is installed, the automatic reverse function should be checked as well for safety.

(Typical life expectancy of the garage door springs is 10 to 15 years, the opener is 10 to 15 years)

Now let's look inside...

### **HVAC**

Heating, Ventilation and Cooling systems require yearly servicing to ensure the most efficient operation of your system. Air filters should be replaced monthly during the summer months and quarterly during the winter months. Continuous monitoring of the coils condensate lines and secondary drain pan should be performed to identify drain line blockages and to prevent possible damage to the surrounding structure. Some of these coils are located in the attic and may require attic access. We also recommend a programmable thermostat to efficiently operate the HVAC system.

(Typical life expectancy of the HVAC system is 10 to 15years)

### **PLUMBING**

We recommend maintaining a maximum water pressure of 80 psi to prevent premature water fixture leaks. Water pressure may be controlled with the use of a water pressure regulator. All sink faucets should be checked periodically at the water shutoff valves for signs of leakage. Hot water heater pipe connections, soft water pipe connections and washing machine supply hoses should be checked periodically for leakage as well. You may wish to install a water softener if your home does not already have one; this will help reduce mineral deposits throughout your water system as well as help to extend the life of your water fixtures.

(Typical life expectancy of water softeners is 10 to 15years, hot water heaters 10 to 12 years and washing machine hoses is 5 years)

### **ELECTRICAL**

We strongly recommend monthly testing of all GFCI outlets with the test button. This will help identify any faulty circuits that are controlled by the GFCI.

(Typical GFCI outlet lifespan are 5 to 10 years)

Ongoing maintenance will help extend the life of your new home.

We hope that you have found this information helpful.